

All development proposals will be reviewed by the Department of City Development (DCD) to confirm compliance with the standards contained in this Development Code. All development shall conform to the Milwaukee Zoning Code of Ordinances and all other applicable codes. DCD shall be responsible for interpreting this Development Code as well as approving minor variations which are deemed consistent with the spirit and intent of the overall plan.

**1. LAND USES**

The following uses are permitted on all blocks. (See Use Table, Appendix A for specific uses that comprise each category.)

- Residential
- Office
- Retail/Service
- Entertainment/Accommodations
- Institutional

The following uses are limited by the C9B(A) Zoning and may be further limited by this Development Code. For example: While a surface parking lot is a Special Use in the C9B(A) Zone, it is prohibited by this Development Code. (See Use Table, Appendix A for specific uses that comprise each category.)

- Parking
- Industrial/Storage/Utility

**2. BUILDING HEIGHT**

Building heights are regulated to create streets in character with the Districts described in the Master Plan. Building height ranges are indicated on each block in the Block Development Standards. Building heights are identified by the number of stories above grade and given a minimum and maximum range. The ground floor shall not be less than 12 feet from finished floor to finished ceiling but has no maximum height limit. Above the ground floor, a story is defined as a habitable level no more than 14 feet in height from finished floor to finished ceiling. When an upper story exceeds 14 feet in height, the additional height will count as an additional story.

For additions to existing buildings, the allowable minimum building height is the height of the existing building.

Because of their prominent locations, several sites have been designated for Landmark Buildings as described in the Master Plan. These sites have taller minimum and maximum height ranges (typically 10-20 stories).

Large Venue Buildings must be a minimum of 36 feet in height and cannot exceed the block maximum height. The ground floor maximum height does not apply to Large Venue Buildings.

(See Block Development Standards, pages 12-81 and/or Appendix B)

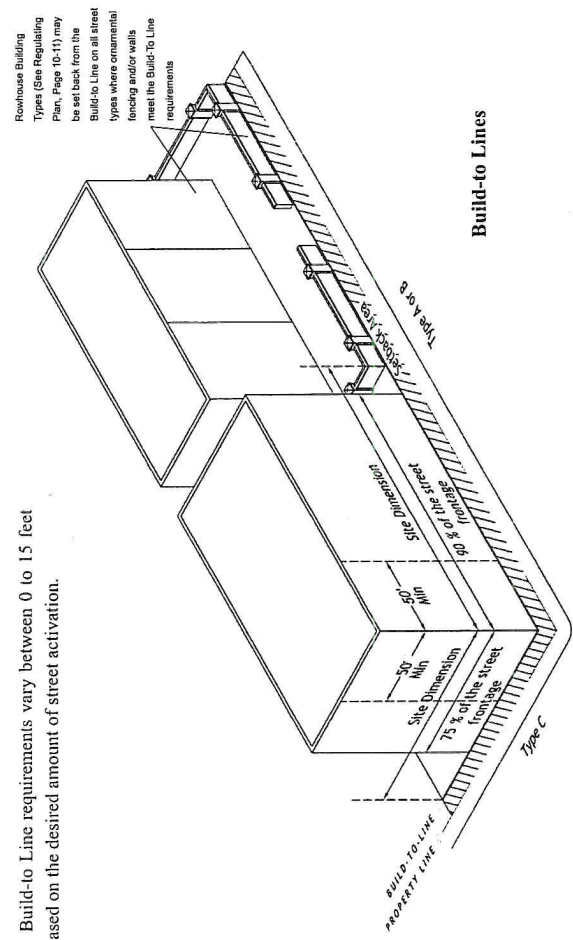
**3. BUILD-TO LINE**

Build-To Lines are established for each block to ensure that building placements clearly define street edges and corners. The Build-To Line is the line parallel to the property line along which the facade of the building must be located. Facade is defined as any vertical, exterior face or wall of a building.

Build-to Line requirements vary between 0 to 15 feet based on the desired amount of street activation.

At street corners, building facades must occupy 100% of the Build-To Line within 50' of the property corner. Large Venue Buildings can deviate from Build-to Line requirements within this 50' distance to the property corner.

For parcels with unusual geometries, alternative Build-To Line configurations are defined in the specific Block Development Standards.



## General Rules and Definitions

For adaptive reuse of existing buildings, the Build-to-Line is the existing building facade.

For Type A and B Streets (For street types, see *Street Activation Map, Appendix C*) building facades must occupy at least 90% of the street frontage at the Build-to-Line at the street level and at least 60% of the street frontage at the Build-to-Line for upper stories. On Type C Streets, building facades must occupy at least 75% of the street frontage at the Build-to-Line at the street level.

Building construction can vary from the Build-to-Line to accommodate facade articulation including: arcades, entrances, balconies, and reveals.

Special design conditions on specified blocks may require a 10-foot facade setback after 3 stories (See *Block Development Standards, pages 12-81*).

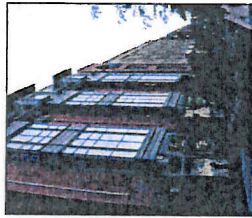
Within the McKinley and Lower Water Street Districts, the Setback Area must be paved (asphalt is prohibited) to create a wider walk area. In the Upper Water Street District, the Setback Area can be either paved (asphalt prohibited) or landscaped. In all three Districts, the Setback Area can include elements such as the following: stairs, ramps, terraces, awnings, signs, bay windows, balconies, roof overhangs, lighting, below grade vaults, foundations and footings. Further protrusions from the building that extend into the public ROW are called encroachments and are allowed up to the dimensions specified in Chapter 245 of the Milwaukee Code of Ordinance or could be allowed if a special privilege is granted.

(See *Block Development Standards, pages 12-81*)

## 4. BUILDING COMPOSITION

### 4.1 Building Base (Ground Floor)

Buildings should be composed to define a base, middle and top.



Composition: Base, Middle and Top



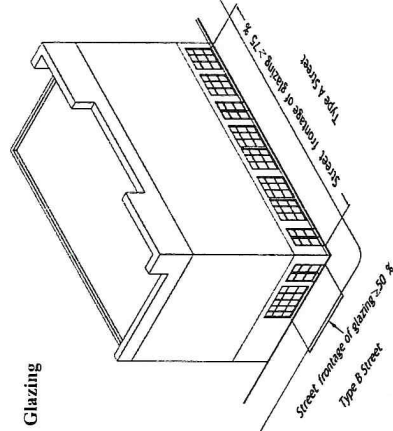
4.1.1 Glazing

Street level facades shall include visual features and design details that enrich the pedestrian experience. While

visual interaction with all stories of the building is encouraged, visual interaction by means of clear, non-tinted windows (glazing) is required along the street frontage of a building. The amount and type of ground floor windows is as follows:

- The area where clear, non-tinted glazing must occur is between 2 feet above grade to at least 8 feet above grade. Lower glazing (such as glazing extending to the floor) and/or higher-level glazing (such as transoms and clerestories) are encouraged. For residential buildings, ground floors should be raised a half level and the area where clear, nontinted glazing must occur is between 3 feet above the ground floor to at least 8 feet above the ground floor. Glazing is measured along the street frontage of a building.
- In order for the glazing to be considered “clear”, it should not be tinted, not be reflective, and have a visual transmittance factor of at least 65%. This rat-

### Glazing



ing refers to the amount of light that is able to pass through the glass. This rating will typically allow for the required clear window to be double insulated glass with a low-e coating. Selecting a low-e coating with low reflectivity is also required. (A glass sample may be needed to be submitted when low-e coatings are proposed.)

The clear glazing zone is measured along the street frontage of the building and does not include service entries. Glazing requirements vary by street type as follows:

- Type A Streets: 75% of the street frontage (50% for residential)
- Type B Streets: 50% of the street frontage
- Type C Streets: No requirement

### 4.1.2 Street Activation

Where required glazing is provided along the ground floor, the area behind the glazing must be Street Activating Uses for a minimum of 12 feet in depth.

Street Activating Uses are those open to the public including shops, restaurants, lobbies, and other service activities that move goods and people in and out of the building. Street Activating Uses can also include areas that are not open to the public yet still activate the street. Street Activating Uses do not include parking stalls.

For Residential Uses, the following Street Activating Uses are permitted:

In all types of residential buildings, foyers and entry areas, main living spaces, dens, home offices, and live-work spaces are appropriate.

Where a multi-family use is present in the entire building, uses may also include vestibules, lobbies, mailbox areas, exercise rooms, regularly used activity rooms, leasing offices and similar types of spaces.

Examples of inappropriate areas would include parking areas, storage lockers, mechanical room, and other generally non-active spaces.

For Office Uses, the following Street Activating Uses are permitted:

Reception areas, waiting rooms, lobbies, teller areas, frequently used meeting rooms, break rooms, cafeterias and other similar areas are appropriate. Individual offices

which may have the need for privacy and closed blinds are not appropriate along street frontages at street level.

Examples of inappropriate areas would include parking areas, supply rooms, mechanical room, and other generally non-active spaces.

For Retail/Service Uses, the following Street Activating Uses are permitted:

Merchandise display and sales floor areas, register areas, vestibules, and other staff areas are appropriate.

Examples of inappropriate areas would include areas not-accessible to the public such as offices, storage rooms, parking areas, employee lockers areas, mechanical room, and other generally non-active spaces.

For Entertainment/Accommodation Uses, the following Street Activating Uses are permitted:

In taverns and restaurants, customer seating and waiting areas, circulation areas, and other areas which could accommodate windows are appropriate.

Examples of inappropriate areas would include coat check, storage areas, and bar backs (unless designed with open transparency).

For hotels, Large Venue Buildings and other places of accommodation, lobbies, customer service areas, restaurants and bar areas, coffee shops, gift shops, and often used gathering and meeting breakout areas are appropriate.

Examples of inappropriate areas would include areas

not accessible to the public such as offices, storage rooms, coat checks rooms, only occasionally used ballrooms and large meeting rooms, parking areas, employee lockers areas, mechanical room, and other generally non-active spaces.

For Institutional Uses, the following Street Activating Uses are permitted:

For schools, areas with the highest and most frequent use, such as central circulation areas, libraries, student lounges, and similar areas are appropriate.

Areas such as infrequently used classrooms, laboratories, and faculty offices are inappropriate.

For Structured Parking Uses, the following Street Activating Uses are permitted:

Lobby areas or attended parking offices and vehicle access points are appropriate. Areas devoted to actual parking or circulation beyond access points are inappropriate.

Note: Industrial/Storage/Utility Uses are generally prohibited (See Use Table, Appendix A); if allowed, these uses are prohibited from locating along the street frontage. In cases where other factors necessitate utility or mechanical uses on the street level, they should be located as far from the street as possible.

4.1.3. Entries

Pedestrian entries should be provided for each distinct ground floor use (or tenant) along the street frontage. Shared ground floor entrance lobbies are permitted for

upper story uses. Dominant corner entrances that maintain the Built-to-Line are desirable on corner sites.

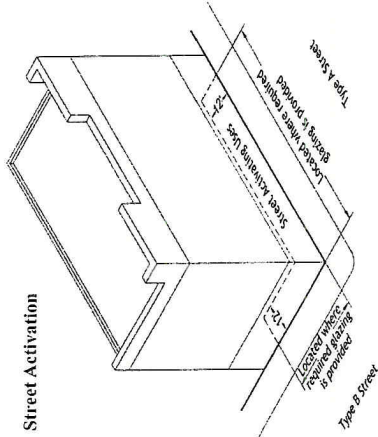
Service entries include truck docks, fire exit doors, areas for waste disposal, and areas for deliveries. Service entries should be located along alleys and are not permitted along street frontages unless no other access is available. Fully enclosed service entries are permitted along street frontages unless otherwise noted in the Block Development Standards. The paving along the sidewalk must be at the same typical height as the adjacent sidewalks to create a level, non-interrupted path for pedestrians.

Fire exit doors and service doors that must be along the street frontage should be designed to be consistent with other ground floor facade elements.

Vehicular parking entries, curb cuts, and driveways are permitted except as noted in the Block Development Standards. Curb cuts and driveways for vehicle parking entries shall not exceed 20 feet in width. Not more than 3 lanes total should enter/exit at any single location. Where the vehicle entry driveway crosses the sidewalk, the paving along the sidewalk must remain at the same typical height as the adjacent sidewalks to create a level, non-interrupted path for pedestrians.

Gates/doors for possible nighttime closure must be recessed 4 feet from the building façade.

Card readers or ticket booths shall be properly placed so that a vehicle entering will not protrude into the public Right-of-Way when stopped.



## General Rules and Definitions

### 4.1.4. Materials

Enrichment of the pedestrian realm requires building base materials to be of high quality, such as stone, brick, metal panel systems, and other durable materials. Materials such as EIFS should not be used on the building base, and utility grade materials such as split face block are only allowed on rear, interior lot lines and alley frontages.

### 4.1.5. Detailing Enrichments

Detailing of the base of buildings should be used to enhance the human scale qualities of the building. On all types of buildings, the building base should be distinctly noticeable from the middle portion of the building. Cornices, friezes, hoods, canopies or other expressive elements should demark the separation of these portions of the buildings.



### Materials and Detailing



Awnings and light shelves are also encouraged to help create a more human scale to the building.

The base of commercial and other buildings should have additional expressive elements that enhance the building's relation to human scale. A change in material or detailing for the base can often achieve this goal.

Lighting that illuminates the exterior of a building and highlights its design features is encouraged.

### 4.2 Building Middle and Top (Upper Stories and Rooftop)

#### 4.2.1 Building Articulation

"Flat" facades should be avoided. When dissimilar materials of the exterior cladding meet, a distinct variation in surface plane must be present. For example, when a brick clad section meets up with a glass curtain wall, a variation in plane is generally needed to avoid the façade appearing too flat.

- When horizontal changes in materials are desired, different materials should generally meet only at a change of plane, particularly at an inside corner. This gives the material a sense of thickness and a perception of permanence and quality. Different materials should never meet at an outside corner as this reveals the thinness of the material.

- When adjacent vertical changes in materials are desired, different materials should typically meet with the upper material overlapping the lower material, sealed by an ornamental trim detail.

The window mullions in a curtain wall should be expressive and create depth and scale to the façade.

#### 4.2.2 Detailing and Enrichments

For Residential Uses, balconies, French windows, bay windows or similar features are encouraged on all units above the building base to further activate the street and give the upper façade articulation and interest.

For Commercial Uses and other buildings with curtain wall façade, additional expressive elements are encouraged above the building base.

For Large Venue Buildings, wall areas above the building base should be articulated. Flat, windowless walls should be avoided.

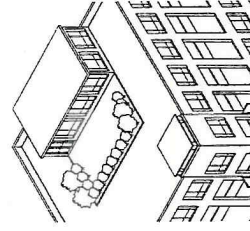
Lighting that illuminates the exterior of a building and highlights its design features is encouraged.



Structured parking garage façades above the building base should be fully enclosed along street frontages. Open parking garage walls to alleys and locations where the wall are less visible from public streets are allowed.

Where parking structure façades are open for ventilation purposes, they should not have long, horizontal openings. The façade should establish a vertical pattern or create gridded or punched window-type openings in order for the structured garage façade to maintain a sense of scale and vertical proportion.

Roof gardens are permitted and encouraged. Occupied penthouses are permitted and encouraged. Occupied penthouses are permitted and do not count as an additional story if the penthouse occupies less than one-half of the roof area. Roof forms and elements that serve as visual landmarks and special features and architectural lighting of roof top elements are encouraged.



Mechanical equipment should be screened and mechanical penthouses should be clad with material consistent with the overall design of the façades.

### 5. SPECIAL FEATURES

Because of their prominent locations, several sites require special features such as unique forms, shapes, or facade elements that can be seen from a distance in order to terminate a vista or define the entrance into the McKinley Avenue District. These may be related to signage, required floor setbacks, distinct corner articulation, variations in building materials, etc. (*See Block Development Standards, pages 12-81*). Within the allowable dimensions for Special Features, the maximum building height restriction may be exceeded by one story for penthouse conditions or double story height interiors.

Special Features



### 6. SITE FEATURES

Outdoor areas, such as cafés, beer gardens and plazas should be constructed with materials consistent with those along the ground floor facade. Material such as poured in place concrete, stone, and masonry elements should be used. Wood railings, wood skirting and wood-decking should be avoided.

Retaining and garden walls should be constructed of poured in place concrete, or stone and brick masonry. Wood retaining walls and dry-stack block systems should be avoided.

Fencing should be decorative metal, masonry or other high quality materials. Chain link fencing should be avoided.

Site lighting should be controlled to prevent glare from the light source onto adjacent properties of the public Right-of-Way.

Existing Accessory Surface Parking Lots, which do not comply with the Zoning landscape requirements, should be upgraded to meet the Zoning Code if the parking lot requires a new occupancy permit or if modifications are made to the lot by existing occupants.

Riverwalks should be accessible to persons in wheelchairs and must comply with all requirements of the Americans with Disabilities Act of 1990, U.S.C. #12101, et. seq. Riverwalks also should follow *The Milwaukee Riverwalk Guidelines/Milwaukee River Design Guidelines, December 1993*.

### 7. SIGNAGE

Signs and lighting are encouraged to enhance the visual character of the street. This includes neon signs and individual letters affixed to the building or embedded within the facade.

Larger, high quality signs on Juneau Avenue and Lower Water Street are encouraged.

Building signage must comply with the limitations as set forth in the Milwaukee Zoning Code as well as the additional requirements set forth below.

- Building signs must be scaled to fit the area in which it is being replaced.
- Face changes to existing signs which are not compliant with the Zoning Code are not allowed.

Box-type wall signs (Type B wall signs) are not allowed unless they meet the area limits allowed by the Zoning Code, are incorporated into the building design and relief patterns of structural bays, and the message cover is reverse copy, cut out letters.

*For further clarity on the definitions and rules of measurement, see applicable sections of the Zoning Code.*

### UPPER WATER STREET DISTRICT

The Development Code converts the planning concepts in the Master Plan into rules governing the buildings, streets, and public places in the redevelopment area.

#### **Building Height Range, Landmarks, and Special Features**

In order to facilitate the economies of scale needed by smaller, residentially-oriented uses and, at the same time, ensure a minimum level of development on each Block, most of the building heights have been set at a minimum of 3 stories. Taller buildings are allowed along the riverfront with a maximum of 12 stories. However, along the southeast of Water Street, the maximum height is kept to 8 stories to increase the compatibility with the scale and character of the other buildings along Water Street south of the redevelopment area. Around the public green space of Block 18, higher minimum heights are required to take advantage of the values created by that space and ensure an effective degree of enclosure.

One location in this District (the south corner of Block 27) has been designated as a Landmark Building. The form of this building should serve as a gateway for people entering this District and the downtown along Water Street. The building height requirements, both the minimum and the maximum, are substantially taller.

- Block 22 requires a Special Feature around the Y-shaped intersection of Lyon and Milwaukee to serve as a termination of the vistas on Lyon and Milwaukee Streets. The intersection of Broadway and Water Streets should also form a termination of the vista along Broadway.

- Block 25 (along with Blocks 22 and 26) requires a Special Feature around the Y-shaped intersection of Lyon and Milwaukee Streets. This Special Feature should serve as a termination of the vistas on Lyon and Milwaukee Streets.

- Block 26 (along with Blocks 22 and 25) requires a Special Feature around the Y-shaped intersection of Lyon and Milwaukee Streets. This Special Feature should serve as a termination of the vistas on Lyon and Milwaukee Streets.

- The southeast corner of block 27 is an allowable Landmark Building site. This Landmark Building is intended to highlight the prominent site location at the entrance to downtown via Water Street.

#### **Street Activation - Social and Economic Activity**

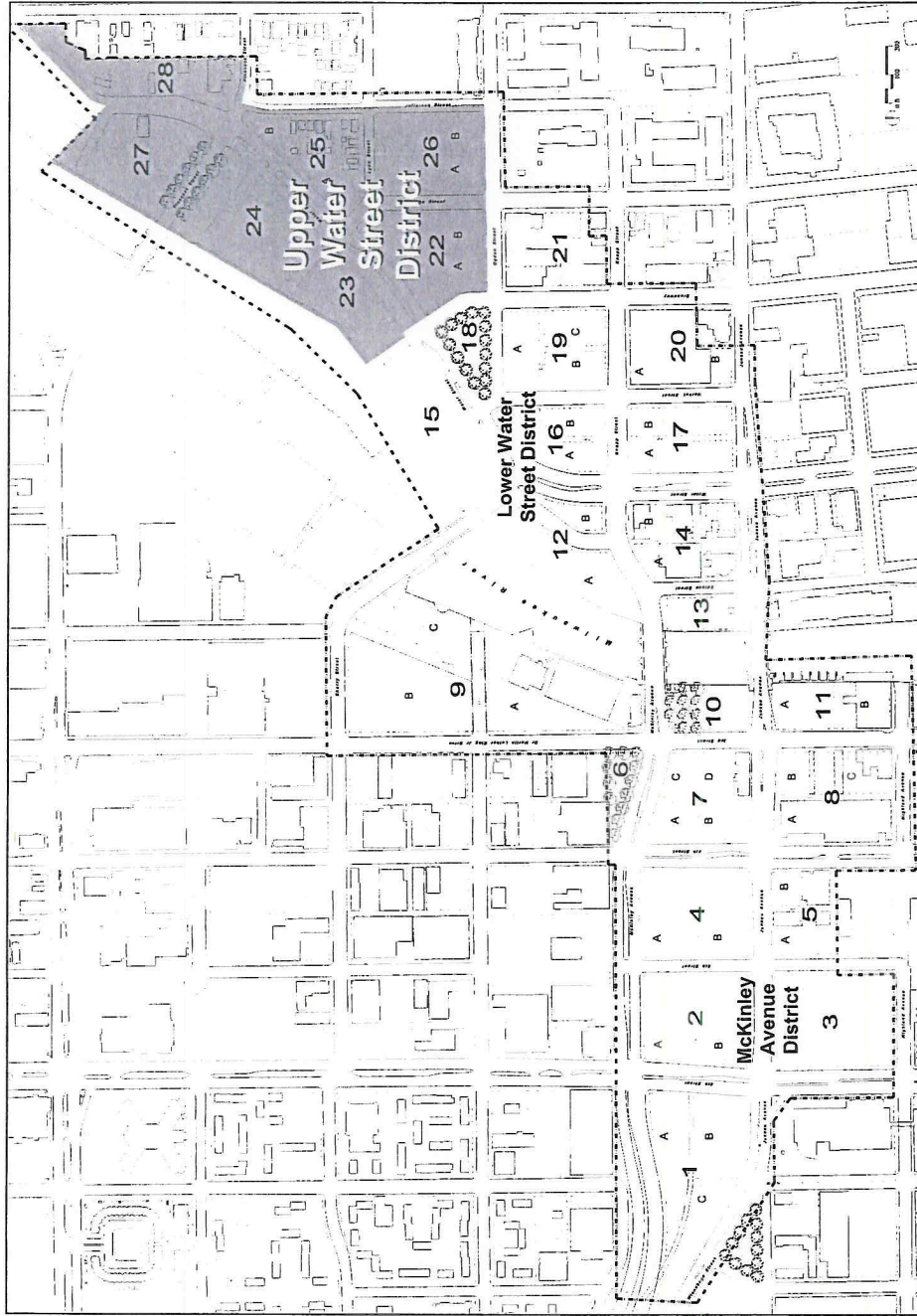
As a primarily residential district, streets in this area should have a moderate level of activity. Two of the streets linking Water Street to the Riverwalk have lower traffic and lower potential for social activity. These side streets should provide service access for new housing.

Although it is only required at a moderate level, activity along the Riverwalk is especially important to maintain. As development evolves, higher degrees of street activation should be considered along the Riverwalk as well as the portion of Pleasant Street leading from the bridge to Water Street.

**Building Form and Build-To Lines**

All Blocks in this area can use building forms consisting of Slab and/or Core Buildings. Rowhouses are also considered compatible with the character and function of the buildings intended for this District or the immediate context (with the exception of the portion of Block 22 facing the new park) and therefore can be used. No Blocks allow Large Venue Buildings.

To maintain the character of the public places and streets, all Blocks have established Build-to Lines. In one case (Blocks 27), there is street frontage with unusual geometries that allowed alternative Build-to Lines.



Block Development Standards / Block 22 (indicated as Block 2 on the Park East Development Plat)

Block 22	
A	B
I	III
0.96 acres	1.21 acres
Surface parking and public r.o.w.	Surface parking and public r.o.w.
See Use Table on page 62	See Use Table on page 62
CSB(A)	CSB(A)
CSB(A)	CSB(A)
No known utility issues.	
Prior uses of parcels within the block include boat service shop. (VOCs/PAHs-NR 720 RCLs).	

Parcel

Allowable Building Form Combinations (I: Slab and Core; II: Types in I + Large Venue; III: Types in I + Rowhouse)

Approximate Acreage  
Current Use

Allowed Use

Existing Zoning  
Recommended Zoning

Known Utilities

Known Environmental Conditions

